

LEGEND:
EXISTING FEATURES

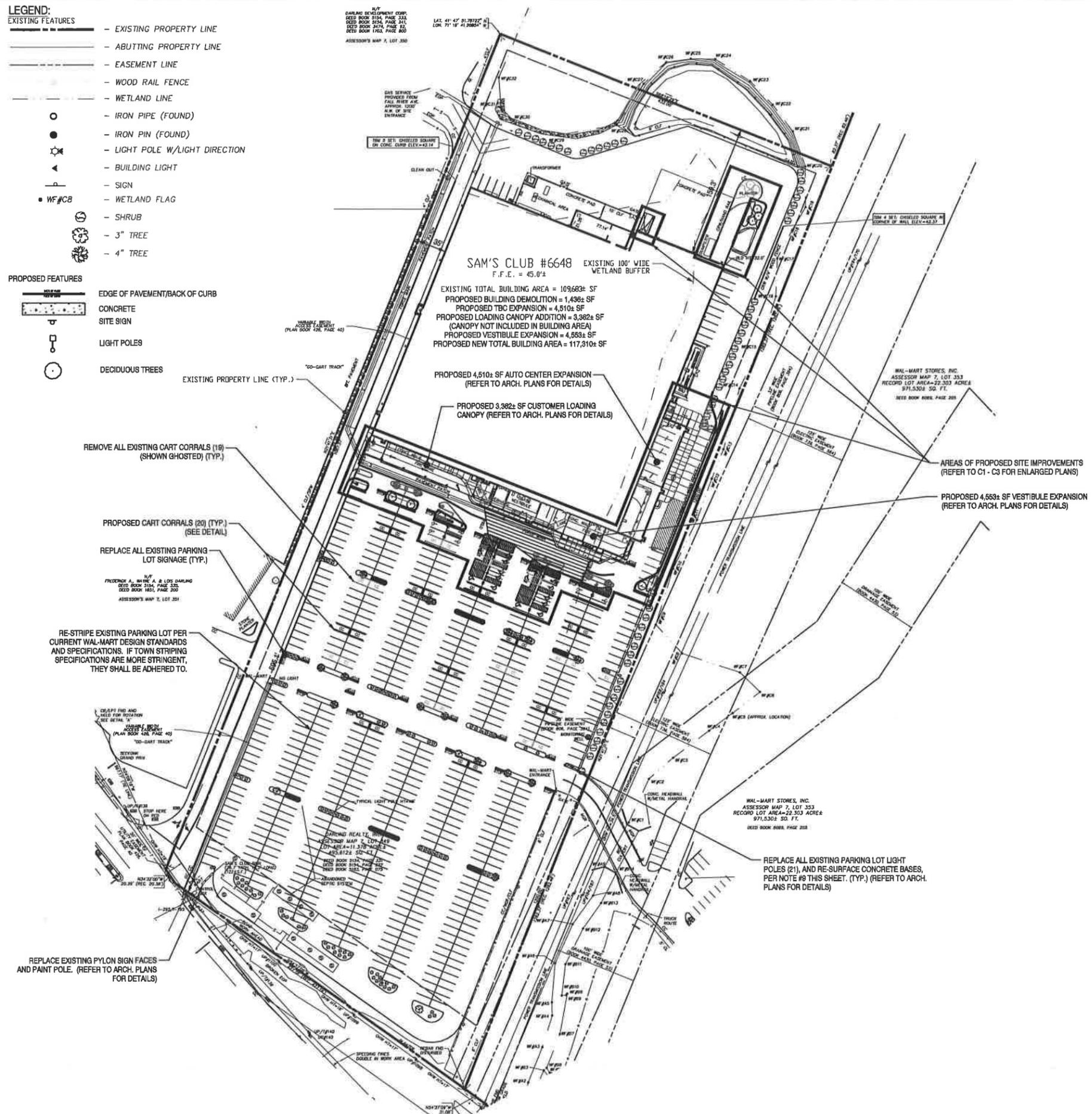
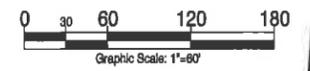
- - - - - EXISTING PROPERTY LINE
- - - - - ABUTTING PROPERTY LINE
- - - - - EASEMENT LINE
- - - - - WOOD RAIL FENCE
- - - - - WETLAND LINE
- - IRON PIPE (FOUND)
- - IRON PIN (FOUND)
- ☼ - LIGHT POLE W/LIGHT DIRECTION
- ▲ - BUILDING LIGHT
- - SIGN
- WF#CB - WETLAND FLAG
- - SHRUB
- - 3" TREE
- - 4" TREE

PROPOSED FEATURES

- EDGE OF PAVEMENT/BACK OF CURB
- CONCRETE
- SITE SIGN
- LIGHT POLES
- DECIDUOUS TREES

DARLING DEVELOPMENT CORP.
DEED BOOK 5124, PAGE 334
DEED BOOK 5124, PAGE 341
DEED BOOK 5124, PAGE 342
DEED BOOK 1763, PAGE 800
ASSESSOR'S MAP 7, LOT 330

LAT. 41° 47' 31.7972" N
LONG. 72° 18' 41.9666" W



SITE DATA:

- TOTAL SAM'S CLUB PARCEL: 11.378± ACRES
- ZONING: HIGHWAY BUSINESS
- BUILDING SQUARE FOOTAGE:
 - EXISTING RETAIL AREA = 84,830± SF
 - EXISTING TBC AREA = 2,260± SF
 - EXISTING OFFICE AREA = 12,820± SF
 - EXISTING WAREHOUSE AREA = 9,973± SF
 - EXISTING TOTAL BUILDING = 109,883± SF
 - PROPOSED RETAIL AREA = 85,264± SF
 - PROPOSED TBC AREA = 4,510± SF
 - PROPOSED OFFICE AREA = 7,888± SF
 - PROPOSED RESTAURANT AREA = 2,148± SF
 - PROPOSED WAREHOUSE AREA = 17,732± SF
 - PROPOSED TOTAL BUILDING = 117,512± SF
- PARKING REQUIREMENTS:
 - REQUIRED = 555 SPACES
 - EXISTING = 624 SPACES
 - PROPOSED = 680 SPACES
 - HANDICAP = 14 (INCLUDED IN TOTAL ABOVE)
 - (44 REGULAR SPACES LOST, INCLUDING 3 HANDICAP SPACES LOST)
 - (TOTAL OF 20 CART CORRALS WILL BE UTILIZED AND ARE NOT INCLUDED IN PARKING TOTAL)
 - RETAIL SALES: 1 space/200 SF of total Gross Floor Area (GFA) - (85,264 SF/200 = 426.32 spaces)
 - AUTOMOTIVE SERVICE: 1 space/1,000 SF GFA - (4,510 SF/1,000 = 4.51 spaces)
 - OFFICE: greater of 1 space/300 SF GFA or 1 space/employee - (7,888 SF/300 = 26.29 spaces (or 30))
 - RESTAURANT: 1 space/3 seats of total capacity - (40 seats/3 = 13.33 spaces)
 - WAREHOUSE, FOOD PREP, STORAGE, MISC.: 1 space/employee on largest shift = 30 spaces
 - EMPLOYEES: 1 space/employee (calculated as largest shift with rollover) = 60

APD ENGINEERING IS ONLY RESPONSIBLE FOR THE PROPOSED SITE IMPROVEMENTS RELATED TO THIS EXPANSION PROJECT. APD ENGINEERING DID NOT PERFORM THE ORIGINAL SITE DESIGN OR SURVEY AND ACCEPTS NO RESPONSIBILITY FOR EXISTING SITE CONDITIONS OR FEATURES THAT WERE DESIGNED AND BUILT PREVIOUS TO THE PREPARATION OF THESE PLANS.

- VARIANCES REQUIRED: NONE
- APPLICABLE SETBACKS ARE AS FOLLOWS FOR DISTRICT HIGHWAY BUSINESS:

	REQUIRED	PROVIDED
FRONT YARD =	7'0"	595.1'±
SIDE YARDS =	15'	35.0'±
REAR YARD =	15'	156.3'±

NOTES:

- ALL EXISTING BUILDING AND SITE INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES.
- APD ENGINEERING IS ONLY RESPONSIBLE FOR THE PROPOSED SITE IMPROVEMENTS RELATED TO THIS EXPANSION PROJECT. APD ENGINEERING DID NOT PERFORM THE ORIGINAL SITE DESIGN OR SURVEY AND ACCEPTS NO RESPONSIBILITY FOR EXISTING SITE CONDITIONS OR FEATURES THAT WERE DESIGNED AND BUILT PREVIOUS TO THE PREPARATION OF THESE PLANS.
- ALL NOTES AND FEATURES ON PLAN (V) ARE ASSUMED EXISTING (UNLESS OTHERWISE NOTED) AND SHALL REMAIN.
- ANY NEW PAVEMENT SECTIONS THAT ARE TO BE REPLACED SHALL MATCH THE EXISTING PAVEMENT SECTION AND MATERIAL SPECIFICATIONS.
- ANY EXISTING STRIPING, WHICH IS TO REMAIN IN PLACE AND WHICH MAY BECOME OBSCURED OR DAMAGED DUE TO THE CONSTRUCTION OF IMPROVEMENTS, SHALL BE REPLACED AND/OR REPAINTED AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. IF SAID UTILITIES BECOME DISTURBED OR DAMAGED, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE SAID UTILITIES AT THE CONTRACTOR'S EXPENSE AND PER THE LOCAL GOVERNING AUTHORITIES' AND/OR AGENCIES' REQUIREMENTS AND SPECIFICATIONS.
- ALL EXISTING CART CORRALS ARE TO BE REMOVED. RENOVATE PAVEMENT AND RE-STRIPE PARKING SPACE(S), AS REQUIRED.
- ALL SIGN POSTS AND SIGN FACES, WITHIN THE ENTIRE SAM'S CLUB SITE, SHALL BE REPLACED TO REFLECT CURRENT DETAIL STANDARDS. ALL TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS WILL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR DESIGN AND INSTALLATION.
- ALL PARKING LOT LIGHT POLES ARE TO BE REPLACED. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS. ALL EXISTING PAINTED LIGHT POLE BASES ARE TO BE SAND BLASTED TO BARE CONCRETE. SEAL BASE WITH CONCRETE SEALER PER ARCHITECTURAL SPECIFICATIONS.

REFERENCES:

- EXISTING SITE, BOUNDARY, UTILITY AND TOPOGRAPHIC SURVEY (SHEETS 1 OF 3, 2 OF 3 AND 3 OF 3) PREPARED BY COLER & COLANTONIO INC., DATED 6/27/05, AND LAST REVISED ON 8/5/06.
- ARCHITECTURAL BUILDING PLANS PREPARED BY BRR ARCHITECTURE, HAVING DRAWING NAMES: "EXTERIOR BUILDING PLAN (SP1)", "EXTERIOR DETAILS (SP2)", "EXTERIOR BUILDING PLANS (SP2.1)", "DEMOLITION PLAN (D1)", "FLOOR PLAN (A1)", "EXTERIOR ELEVATIONS (A2)", "ENLARGED FLOOR PLANS (A5.1)", "TIRE AND BATTERY CENTER (TBC1)", AND "CUSTOMER LOADING CANOPY (LC1)". ALL DRAWINGS DATED 12/12/07.
- PLUMBING PLANS PREPARED BY HENDERSON ENGINEERS, INC., HAVING DRAWING NAMES: "PLUMBING PLAN (P1)", "GROCERY WASTE AND VENT PLANS (P2)", "SNACK BAR PLUMBING PLANS (P2.4)", AND "TBC AND VESTIBULE PLUMBING PLANS (P2.6)". ALL DRAWINGS DATED 11/5/07.
- PHOTOGRAPHS TAKEN BY APD ENGINEERING DURING SCOPING TRIP ON 10/23/07.

Revisions:	Date:
1	
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PROJECT MANAGER	DATE
PROJECT ENGINEER / ARCHITECT	DATE
PROJECT DESIGNER	DATE

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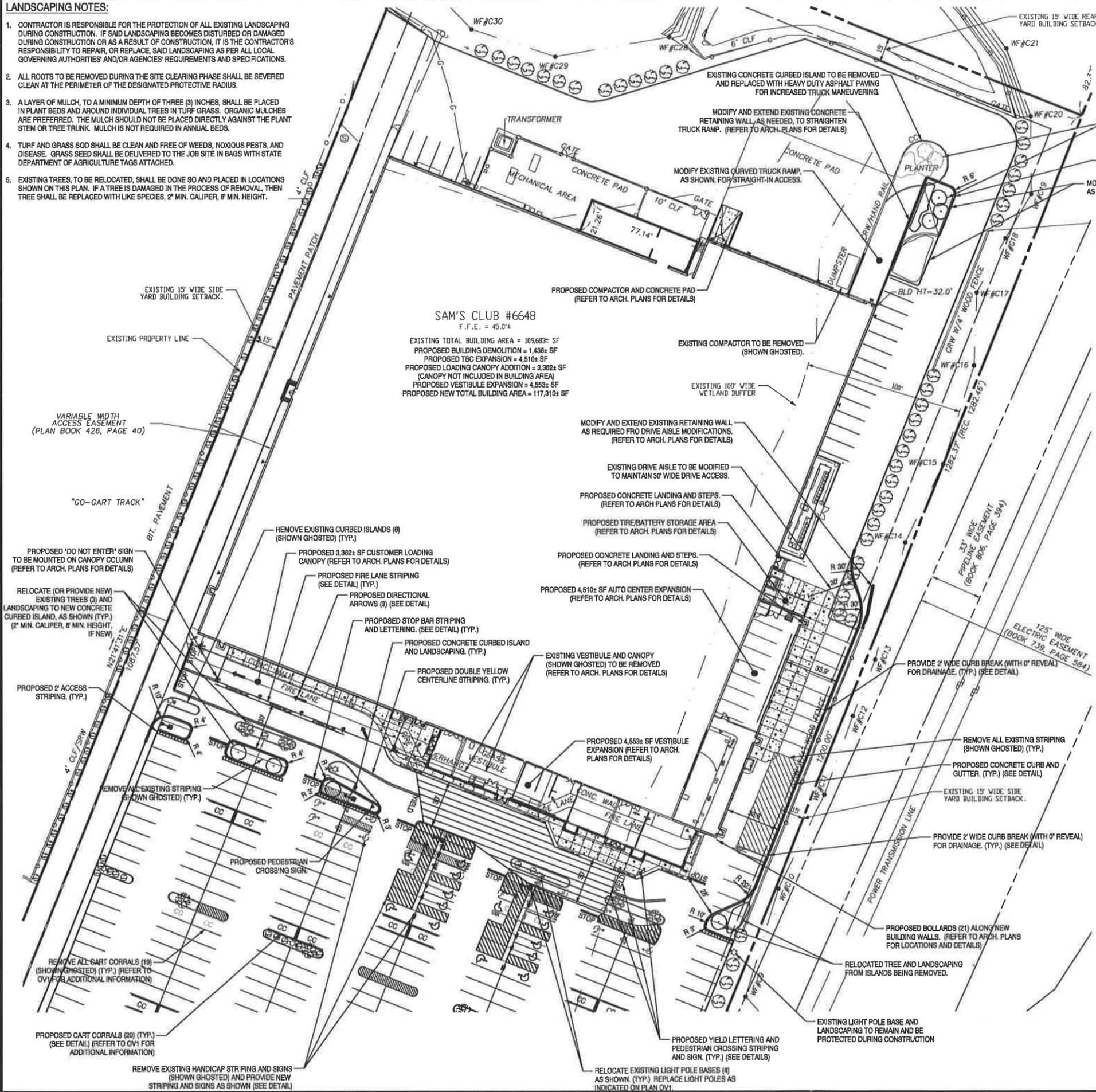
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Sam's Club Expansion
 Club #6848
 1110 Fall River Ave.
 Seekonk, MA 02771
 Bristol County
 Project Name & Location:

Overall Site Plan	
Drawing Name:	Project No.
Date: 12/21/07	07-0205
Type:	OV 1
Drawn By: JED	Drawing No.
Scale: 1"=60'	

LANDSCAPING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPING DURING CONSTRUCTION. IF SAID LANDSCAPING BECOMES DISTURBED OR DAMAGED DURING CONSTRUCTION OR AS A RESULT OF CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, OR REPLACE, SAID LANDSCAPING AS PER ALL LOCAL GOVERNING AUTHORITIES' AND/OR AGENCIES' REQUIREMENTS AND SPECIFICATIONS.
- ALL ROOTS TO BE REMOVED DURING THE SITE CLEARING PHASE SHALL BE SEVERED CLEAN AT THE PERIMETER OF THE DESIGNATED PROTECTIVE RADIUS.
- A LAYER OF MULCH, TO A MINIMUM DEPTH OF THREE (3) INCHES, SHALL BE PLACED IN PLANT BEDS AND AROUND INDIVIDUAL TREES IN TURF GRASS. ORGANIC MULCHES ARE PREFERRED. THE MULCH SHOULD NOT BE PLACED DIRECTLY AGAINST THE PLANT STEM OR TREE TRUNK. MULCH IS NOT REQUIRED IN ANNUAL BEDS.
- TURF AND GRASS SOD SHALL BE CLEAN AND FREE OF WEEDS, NOXIOUS PESTS, AND DISEASE. GRASS SEED SHALL BE DELIVERED TO THE JOB SITE IN BAGS WITH STATE DEPARTMENT OF AGRICULTURE TAGS ATTACHED.
- EXISTING TREES, TO BE RELOCATED, SHALL BE DONE SO AND PLACED IN LOCATIONS SHOWN ON THIS PLAN. IF A TREE IS DAMAGED IN THE PROCESS OF REMOVAL, THEN TREE SHALL BE REPLACED WITH LIKE SPECIES, 2" MIN. CALIPER, 8' MIN. HEIGHT.



SITE NOTES:

- TOTAL SAM'S CLUB PARCEL: 11.378± ACRES
- ZONING: HIGHWAY BUSINESS
- BUILDING SQUARE FOOTAGE:
 - EXISTING RETAIL AREA = 84,830± SF
 - EXISTING TBC AREA = 2,280± SF
 - EXISTING OFFICE AREA = 12,820± SF
 - EXISTING WAREHOUSE AREA = 9,973± SF
 - EXISTING TOTAL BUILDING = 109,883± SF
 - PROPOSED RETAIL AREA = 85,294± SF
 - PROPOSED TBC AREA = 4,510± SF
 - PROPOSED OFFICE AREA = 7,858± SF
 - PROPOSED RESTAURANT AREA = 2,148± SF
 - PROPOSED WAREHOUSE AREA = 17,732± SF
 - PROPOSED TOTAL BUILDING = 117,310± SF
- PARKING REQUIREMENTS:
 - REQUIRED = 555 SPACES
 - PROVIDED = 624 SPACES
 - HANDICAP = 14 (INCLUDED IN TOTAL ABOVE)
 - (44 REGULAR SPACES LOST, INCLUDING 3 HANDICAP SPACES LOST)
 - (TOTAL OF 20 CART CORRALS WILL BE UTILIZED AND ARE NOT INCLUDED IN PARKING TOTAL)

	REQUIRED	PROVIDED
FRONT YARD =	70'	696.1'±
SIDE YARDS =	15'	35.0'±
REAR YARD =	15'	159.3'±

- THE SETBACK LINES AND NOTES RELATED TO SETBACKS SHOWN HEREIN ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF SEEKONK, AS OF THE DATE OF THIS MAP, AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
- ALL EXISTING BUILDING AND SITE INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES.
- ANY NEW PAVEMENT SECTIONS THAT ARE TO BE REPLACED SHALL MATCH THE EXISTING PAVEMENT SECTION AND MATERIAL SPECIFICATIONS.
- ANY EXISTING STRIPING WHICH IS TO REMAIN IN PLACE AND WHICH MAY BECOME OBSCURED OR DAMAGED DUE TO THE CONSTRUCTION OF IMPROVEMENTS, SHALL BE REPLACED AND/OR REPAINTED AS NECESSARY.
- REFER TO ARCHITECTURAL PLANS FOR EXISTING AND PROPOSED BUILDING DIMENSIONS, SIDEWALK AND CURB DETAILS, UNLESS NOTED OTHERWISE.
- APD ENGINEERING IS ONLY RESPONSIBLE FOR THE PROPOSED SITE IMPROVEMENTS RELATED TO THIS EXPANSION PROJECT. APD ENGINEERING DID NOT PERFORM THE ORIGINAL SITE DESIGN OR SURVEY AND ACCEPTS NO RESPONSIBILITY FOR EXISTING SITE CONDITIONS OR FEATURES THAT WERE DESIGNED AND BUILT PREVIOUS TO THE PREPARATION OF THESE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR SECURING APPROVAL FOR ALL PROPOSED TEMPORARY CONSTRUCTION STAGING AND WORK AREAS, FROM ALL REQUIRED MUNICIPAL DEPARTMENTS, PRIOR TO COMMENCEMENT OF SAID STAGING OR CONSTRUCTION.
- ALL SIGN POSTS AND SIGN FACES, WITHIN THE ENTIRE SAM'S CLUB SITE, SHALL BE REPLACED TO REFLECT CURRENT DETAIL STANDARDS. ALL TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS WILL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR DESIGN AND INSTALLATION.
- ALL PARKING LOT LIGHT POLES ARE TO BE REPLACED. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS. ALL EXISTING PAINTED LIGHT POLE BASES ARE TO BE SAND BLASTED TO BARE CONCRETE. SEAL BASE WITH CONCRETE SEALER PER ARCHITECTURAL SPECIFICATIONS.
- ALL EXISTING FEATURES, SHOWN GHOSTED, TO BE REMOVED OR RELOCATED, AS NOTED.

REFERENCES:

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- PHOTOGRAPHS TAKEN BY APD ENGINEERING DURING SCOPING TRIP ON 10/23/07.

Revisions:

Revisions:	Date:
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Project Manager	Seal	Date
Project Engineer / Architect	Seal	Date
Project Designer	Seal	Date

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Sam's Club Expansion

Club #6648
 1110 Fall River Ave.
 Seekonk, MA 02771
 Bristol County

Project Name & Location:

Site Plan

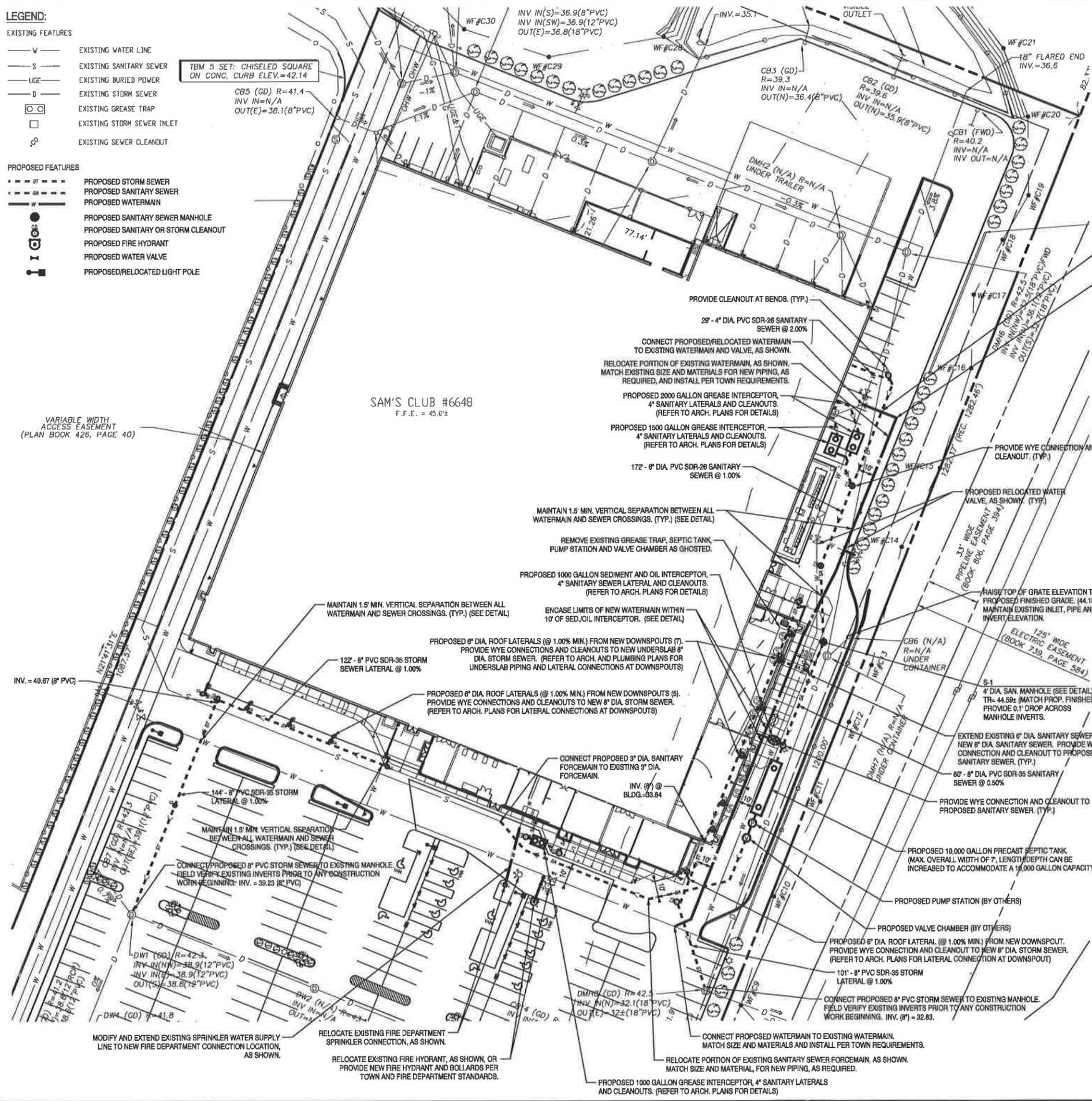
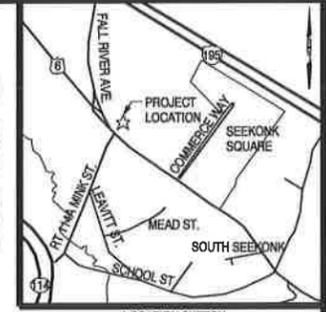
Drawing Name:

Date: 12/21/07	Project No. 07-0205
Type:	
Drawn By: JED	C1
Scale: 1"=30'	Drawing No.

LEGEND:

- EXISTING FEATURES
- V - EXISTING WATER LINE
- S - EXISTING SANITARY SEWER
- UGE - EXISTING BURIED POWER
- D - EXISTING STORM SEWER
- [Symbol] - EXISTING GREASE TRAP
- [Symbol] - EXISTING STORM SEWER INLET
- [Symbol] - EXISTING SEWER CLEANOUT

- PROPOSED FEATURES
- [Symbol] - PROPOSED STORM SEWER
- [Symbol] - PROPOSED SANITARY SEWER
- [Symbol] - PROPOSED WATERMAIN
- [Symbol] - PROPOSED SANITARY SEWER MANHOLE
- [Symbol] - PROPOSED SANITARY OR STORM CLEANOUT
- [Symbol] - PROPOSED FIRE HYDRANT
- [Symbol] - PROPOSED WATER VALVE
- [Symbol] - PROPOSED/RELOCATED LIGHT POLE



MAINTAIN 1.5' MIN. VERTICAL SEPARATION BETWEEN ALL WATERMAIN AND SEWER CROSSINGS. (TYP.) (SEE DETAIL)

CONTRACTOR SHALL VERIFY THAT THE EXISTING WATER LINE (TO BE RELOCATED) CAN BE SHUT OFF PRIOR TO BEGINNING ANY CONSTRUCTION WORK, AND THAT THE SHUT DOWN WILL NOT INTERFERE WITH ANY FIRE OR OPERATIONAL FLOWS. IF INTERRUPTIONS CANNOT BE AVOIDED, CONTRACTOR SHALL COORDINATE WITH ALL NECESSARY AGENCIES, FIRE DEPARTMENTS, STORE MANAGER, STORE OPERATIONS AND ANY OTHER GROUP/AGENCY OR OTHER PROPERTIES/BUSINESS AFFECTED BY THE SHUT DOWN.

UTILITY AND GRADING NOTES:

- 1. ALL EXISTING BUILDING, SITE, GRADING AND UTILITY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES.
2. NO IMPROVEMENTS TO THE EXISTING SITE GAS, ELECTRIC OR TELEPHONE SERVICES ARE ANTICIPATED FOR THIS EXPANSION PROJECT.
3. FOR THE PROPOSED WATERMAIN RELOCATION, THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY AND STORE MANAGER TO MAINTAIN WATER SERVICE AND FIRE PROTECTION.
4. EXISTING UTILITIES AND GRADES SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS, INVERTS AND PERTINENT FINISHED GRADE ELEVATIONS PRIOR TO ORDERING ANY MATERIALS OR BEGINNING ANY CONSTRUCTION WORK.
5. ALL WORK ASSOCIATED WITH THE MODIFICATIONS TO SAID UTILITIES SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL GOVERNING AUTHORITIES' AND/OR AGENCIES' REQUIREMENTS AND SPECIFICATIONS.
6. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION.
7. CONTRACTOR TO PROVIDE AND MAINTAIN ALL EROSION AND SILT CONTROL DEVICES, AS NECESSARY PER THE LOCAL GOVERNING AUTHORITIES' AND/OR AGENCIES' REQUIREMENTS AND SPECIFICATIONS.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTENCE OF ANY IRRIGATION LINES AND SPRINKLER HEADS WITHIN THE LIMITS OF WORK.
9. APD ENGINEERING IS ONLY RESPONSIBLE FOR THE PROPOSED SITE IMPROVEMENTS RELATED TO THIS EXPANSION PROJECT.
10. CONTRACTOR TO PROVIDE AND MAINTAIN EROSION AND SILT CONTROL DEVICES IN ALL AREAS OF TRENCHING.
11. WATER LINES SHALL KEEP A MINIMUM SEPARATION OF 18" VERTICALLY AND 10' HORIZONTALLY.
12. THE CONTRACTOR IS CAUTIONED THAT LIGHTING CONDUIT AND/OR WIRING MAY EXIST WITHIN THE WORK AREA.
13. CONTRACTOR SHALL TEST ENTIRE LENGTH OF EXISTING AND NEW FORCEMAIN AFTER ALL PROPOSED CONNECTIONS AND RELOCATIONS HAVE BEEN COMPLETED.
14. ALL NEW AND RELOCATED WATERMANS SHALL BE TESTED, DISINFECTED AND SAMPLED PER THE SPECIFICATIONS.

REFERENCES:

- 1. EXISTING SITE, BOUNDARY, UTILITY AND TOPOGRAPHIC SURVEY (SHEETS 1 OF 3, 2 OF 3 AND 3 OF 3) PREPARED BY COLER & COLANTONIO INC., DATED 6/27/06, AND LAST REVISED ON 8/5/06.
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4. PHOTOGRAPHS TAKEN BY APD ENGINEERING DURING SCOPING TRIP ON 10/23/07.

Revisions table with columns for Revisions (1-9) and Date.

Seal and Date table with columns for Seal, PROJECT MANAGER, PROJECT ENGINEER / ARCHITECT, PROJECT DESIGNER, and DATE.

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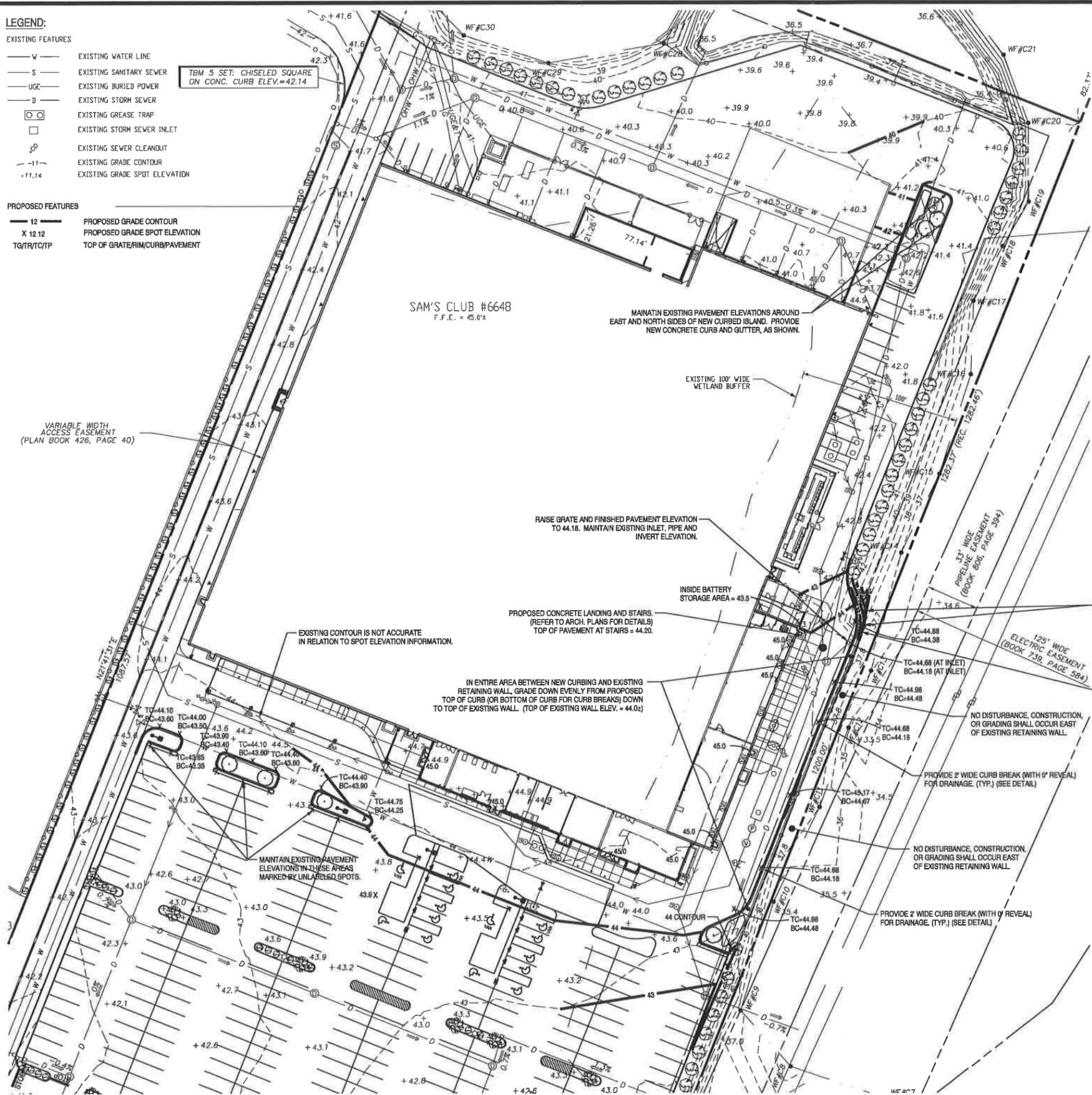
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Sam's Club Expansion
Club #6648
1110 Fall River Ave.
Seekonk, MA 02771
Bristol County
Project Name & Location:

Utility Plan table with columns for Drawing Name, Date (12/21/07), Type, Drawn By (JED), Scale (1"=30'), Project No. (07-0205), and Drawing No. (C 2).

- LEGEND:**
- EXISTING FEATURES**
- W — EXISTING WATER LINE
 - S — EXISTING SANITARY SEWER
 - UGC — EXISTING BURIED POWER
 - D — EXISTING STORM SEWER
 - ○ EXISTING GREASE TRAP
 - EXISTING STORM SEWER INLET
 - ⊗ EXISTING SEWER CLEANOUT
 - 11- EXISTING GRADE CONTOUR
 - +11.14 EXISTING GRADE SPOT ELEVATION
- PROPOSED FEATURES**
- 12 — PROPOSED GRADE CONTOUR
 - X 12 12 PROPOSED GRADE SPOT ELEVATION
 - TG/TR/TC/TP TOP OF GRATE/RIM/CURB/PAVEMENT

TBM 5 SET: CHISELED SQUARE ON CONC. CURB ELEV.=42.14



UTILITY AND GRADING NOTES:

1. ALL EXISTING BUILDING, SITE, GRADING AND UTILITY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES.
2. NO IMPROVEMENTS TO THE EXISTING SITE GAS, ELECTRIC OR TELEPHONE SERVICES ARE ANTICIPATED FOR THIS EXPANSION PROJECT. UTILITY IMPROVEMENTS INCLUDE A WATERMAIN RELOCATION, FIRE HYDRANT AND FIRE DEPARTMENT CONNECTION RELOCATION AND SANITARY SEWER MODIFICATIONS. OTHER IMPROVEMENTS INCLUDE STORM SEWER MODIFICATIONS. ALL PROPOSED STORM SEWERS AND LATERALS SHALL HAVE 2'-0" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE.
3. FOR THE PROPOSED WATERMAIN RELOCATION, THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY AND STORE MANAGER TO MAINTAIN WATER SERVICE AND FIRE PROTECTION.
4. EXISTING UTILITIES AND GRADES SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS, INVERTS AND PERTINENT FINISHED GRADE ELEVATIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE OWNER OR OWNER'S REPRESENTATIVE'S ATTENTION WITHIN SUFFICIENT TIME TO ALLOW FOR ANY NECESSARY RE-DESIGN.
5. ALL WORK ASSOCIATED WITH THE MODIFICATIONS TO SAID UTILITIES SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL GOVERNING AUTHORITIES' AND/OR AGENCIES' REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY APPROVALS, CONNECTIONS, INSPECTIONS, AND FEES REQUIRED FOR INSTALLATION OR RELOCATION OF UTILITIES.
6. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. IF SAID UTILITIES BECOME DISTURBED OR DAMAGED, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE SAID UTILITIES AT THE CONTRACTOR'S EXPENSE AND PER THE LOCAL GOVERNING AUTHORITIES' AND/OR AGENCIES' REQUIREMENTS AND SPECIFICATIONS.
7. CONTRACTOR TO PROVIDE AND MAINTAIN ALL EROSION AND SILT CONTROL DEVICES, AS NECESSARY PER THE LOCAL GOVERNING AUTHORITIES' AND OR AGENCIES' REQUIREMENTS AND SPECIFICATIONS. ALL EROSION CONTROL MEASURES AND DEVICES ARE INDICATED ON PLANS ES-1 AND ES-2 AS PART OF THE SWPPP.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTENCE OF ANY IRRIGATION LINES AND SPRINKLER HEADS WITHIN THE LIMITS OF WORK. IF FOUND ANY IRRIGATION LINES OR SPRINKLER HEADS SHALL BE RELOCATED/REPLACED TO MAINTAIN COVERAGE OF LAWN AND LANDSCAPED AREAS.
9. APD ENGINEERING IS ONLY RESPONSIBLE FOR THE PROPOSED SITE IMPROVEMENTS RELATED TO THIS EXPANSION PROJECT. APD ENGINEERING DID NOT PERFORM THE ORIGINAL SITE DESIGN OR SURVEY AND ACCEPTS NO RESPONSIBILITY FOR EXISTING SITE CONDITIONS OR FEATURES THAT WERE DESIGNED AND BUILT PREVIOUS TO THE PREPARATION OF THESE PLANS.
10. CONTRACTOR TO PROVIDE AND MAINTAIN EROSION AND SILT CONTROL DEVICES IN ALL AREAS OF TRENCHING, REFER TO DETAIL SHEET FOR ADDITIONAL INFORMATION.
11. WATER LINES SHALL KEEP A MINIMUM SEPARATION OF 18" VERTICALLY AND 10' HORIZONTALLY, MEASURED FROM OUTSIDE OF PIPES/STRUCTURES, FROM ALL STORM SEWERS AND SANITARY SEWERS. CLEARANCE REQUIREMENTS FROM OTHER UTILITIES SHALL BE VERIFIED WITH THE APPROPRIATE UTILITY AUTHORITY.
12. THE CONTRACTOR IS CAUTIONED THAT LIGHTING CONDUIT AND/OR WIRING MAY EXIST WITHIN THE WORK AREA. CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING LIGHTING.



Revisions: Date:

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PROJECT ENGINEER / ARCHITECT		DATE
PROJECT DESIGNER		DATE

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Sam's Club Expansion

Club #6648
 1110 Fall River Ave.
 Seekonk, MA 02771
 Bristol County

Project Name & Location:

Grading Plan

Drawing Name:

Date: 12/21/07	Project No. 07-0205
Type:	
Drawn By: JED	C 3
Scale: 1"=30'	Drawing No.

REFERENCES:

1. EXISTING SITE, BOUNDARY, UTILITY AND TOPOGRAPHIC SURVEY (SHEETS 1 OF 3, 2 OF 3 AND 3 OF 3) PREPARED BY COLER & COLANTONIO INC., DATED 5/27/05, AND LAST REVISED ON 8/5/05.
2. ARCHITECTURAL BUILDING PLANS PREPARED BY BRR ARCHITECTURE, HAVING DRAWING NAMES: "EXTERIOR BUILDING PLAN (SP1)", "EXTERIOR DETAILS (SP2)", "EXTERIOR BUILDING PLANS (SP2.1)", "DEMOLITION PLAN (D1)", "FLOOR PLAN (A1)", "EXTERIOR ELEVATIONS (A2)", "ENLARGED FLOOR PLANS (AS.1)", "TIRE AND BATTERY CENTER (TBC1)", AND "CUSTOMER LOADING CANOPY (LC1)". ALL DRAWINGS DATED 12/12/07.
3. PLUMBING PLANS PREPARED BY HENDERSON ENGINEERS, INC., HAVING DRAWING NAMES: "PLUMBING PLAN (P1)", "GROCERY WASTE AND VENT PLANS (P2)", "SNACK BAR PLUMBING PLANS (P2.4)", AND "TBC AND VESTIBULE PLUMBING PLANS (P2.6)". ALL DRAWINGS DATED 11/5/07.
4. PHOTOGRAPHS TAKEN BY APD ENGINEERING DURING SCOPING TRIP ON 10/23/07.

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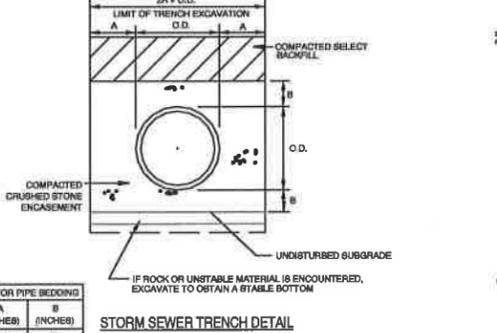
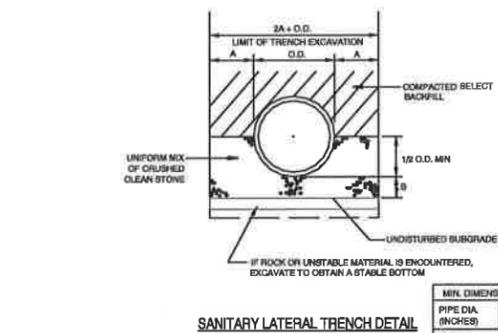
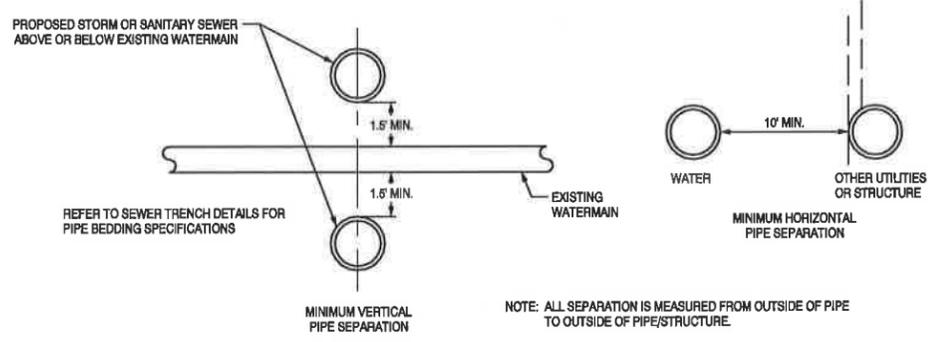
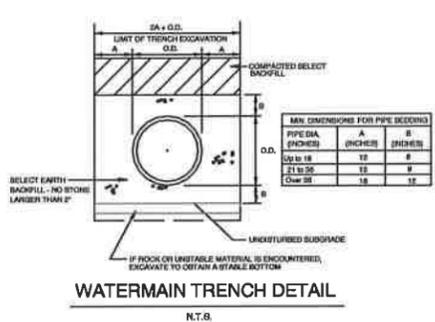
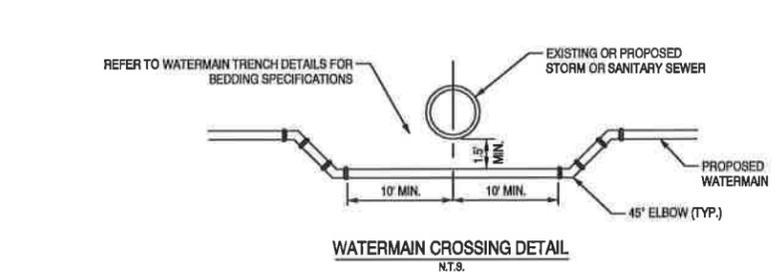
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 Seekonk, MA 02771
 Bristol County

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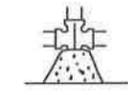
Detail Sheet (1 of 3)

Drawing Name:	Project No.
Date: 12/21/07	07-0205
Type:	C 4
Drawn By: JED	Drawing No.
Scale: No Scale	

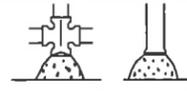


PIPE SIZE	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND	TEE OR PLUG
4", 6"	6	4	2	1	9
8"	11	6	3	2	15

AREAS BASED ON AN INTERNAL PRESSURE OF 200 PSIG AND A SOIL BEARING PRESSURE OF 2000 PSF. IF ACTUAL SOIL BEARING PRESSURE OR INTERNAL PRESSURE VARIES FROM THOSE LISTED ABOVE A NEW AREA OF BEARING FACE SHOULD BE CALCULATED.



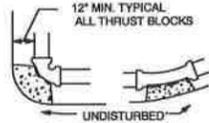
THRUST BLOCK AT TEE



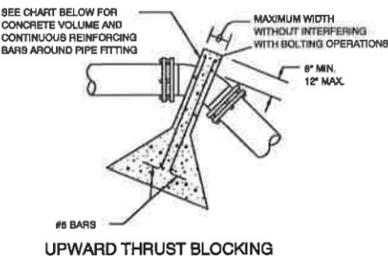
THRUST BLOCKS AT PLUGS



TYPICAL BEARING FACE
TYPICAL ELEVATION AT THRUST BLOCK



THRUST BLOCKS AT BENDS



UPWARD THRUST BLOCKING

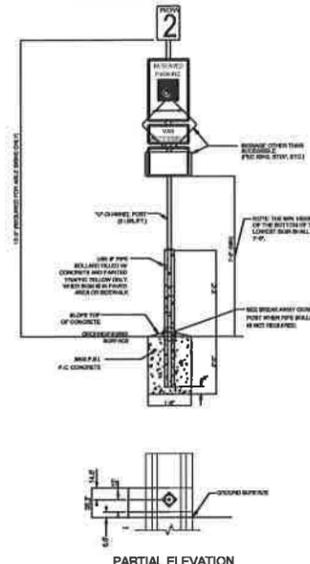
- NOTES:
- THRUST BLOCKS SHALL BE PLACED AT ALL BENDS.
 - THRUST BLOCKS SHALL BE PLACED AT ALL TAPPING SLEEVE AND VALVE CONNECTIONS AS SHOWN ABOVE FOR TEE.
 - BLOCK HEIGHT SHOULD BE 1/2 THE BLOCK WIDTH BUT NOT LESS THAN THE PIPE DIAMETER.
 - THE CONTRACTOR SHOULD ALWAYS CONSIDER TEST PRESSURES WHEN CALCULATING BEARING AREA.
 - CONCRETE TO BE 3000 PSI COMPRESSION STRENGTH IN 28 DAYS.
 - MINIMUM COVER FOR THIS PROJECT IS 6 FEET MEASURED FROM TOP OF PIPE.

IN ANY AREA WHERE SOIL CONDITIONS OR GRADE CHANGES WILL LIMIT THE THRUST BLOCKS ABILITY TO SUPPORT FORCES FROM WATER PRESSURE OR HAMMERS, THAT SECTION OF WATERMAIN AND FITTINGS SHALL BE REPLACED WITH ANCHORING PIPE AND FITTINGS FOR THE LENGTH OF PIPE REQUIRED BY MANUFACTURERS RECOMMENDATIONS.

WATER MAIN THRUST BLOCK DETAIL

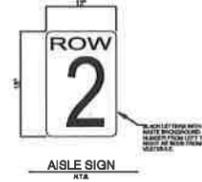
N.T.S.

ALL WORK SHALL COMPLY WITH THE DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LOCAL CODES AND ANY APPLICABLE STATE LAWS TO MEET A REQUIREMENT WITH MANUFACTURERS INSTRUCTIONS.

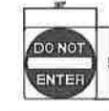


PARTIAL ELEVATION

PLAN VIEW
BREAK AWAY CHANNEL POST



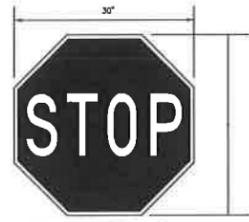
aisle SIGN



'DO NOT ENTER' SIGN



'PEDESTRIAN CROSSING' SIGN



R1-1
'STOP' SIGN

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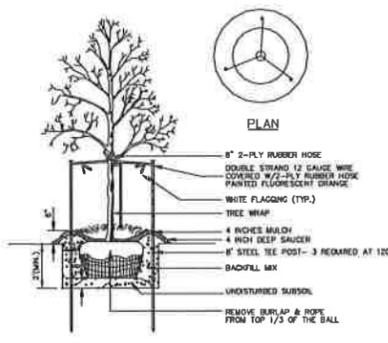
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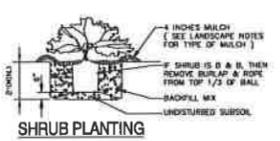
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Detail Sheet (2 of 3)

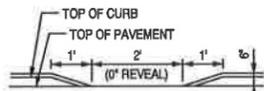
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Drawn By: JED	Drawing No.
Scale: No Scale	



PLAN

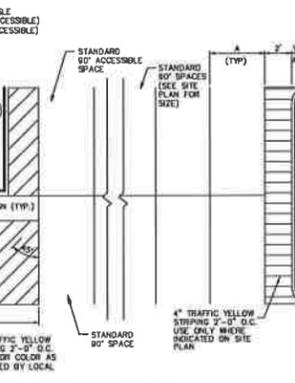
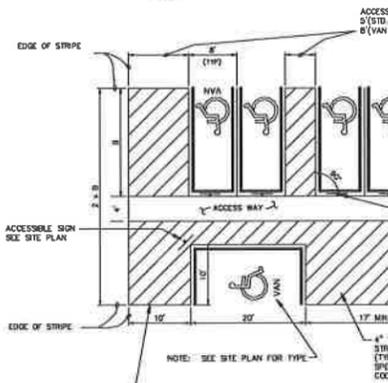


SHRUB PLANTING



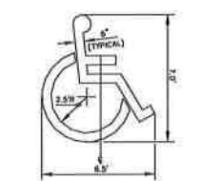
CURB CUT DETAIL

TREE PLANTING

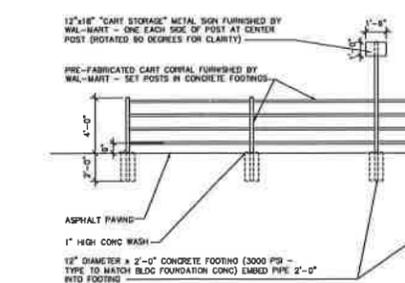


NON-ADA STANDARD STRIPING ISLE

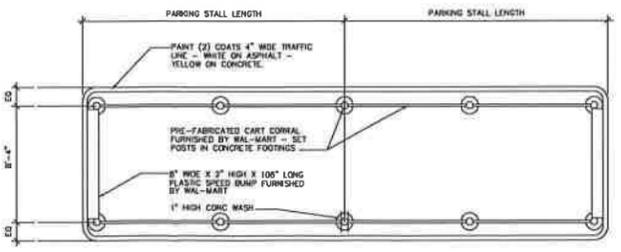
A	B
9' 0"	16'
9' 5"	19'
10'	20'
10' 5"	18'
10'	20'



ACCESSIBLE PARKING SYMBOL



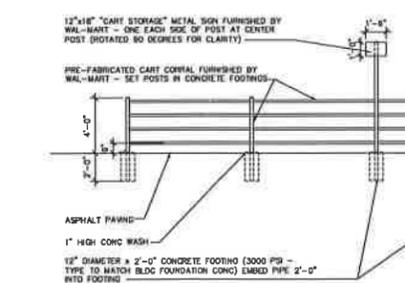
CART CORRAL ELEVATION



CART CORRAL PLAN



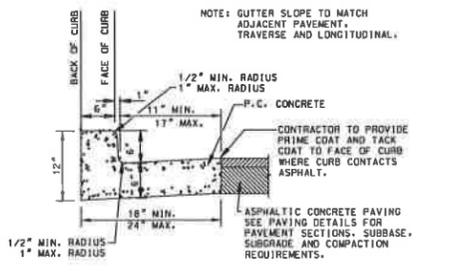
FIRE LANE MARKING



aisle SIGN LOCATIONS - 90° PARKING

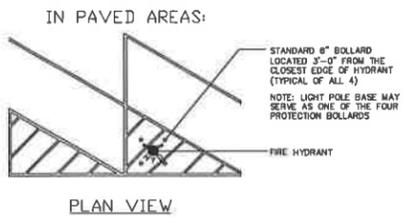
SITE SIGN BASE DETAILS

N.T.S.



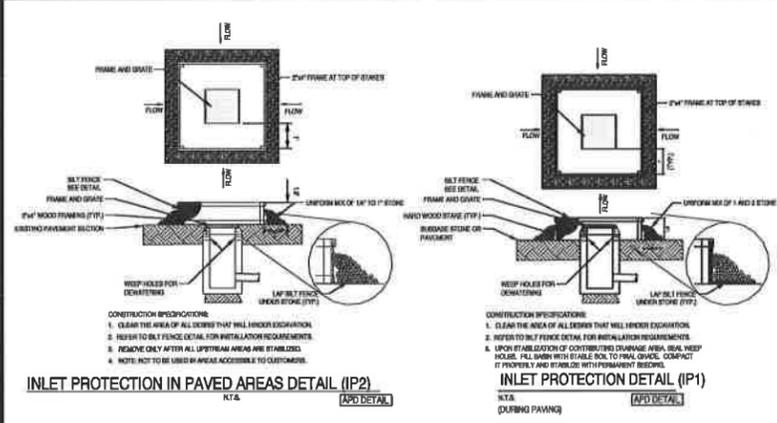
TYPICAL CURB AND GUTTER DETAIL

N.T.S.

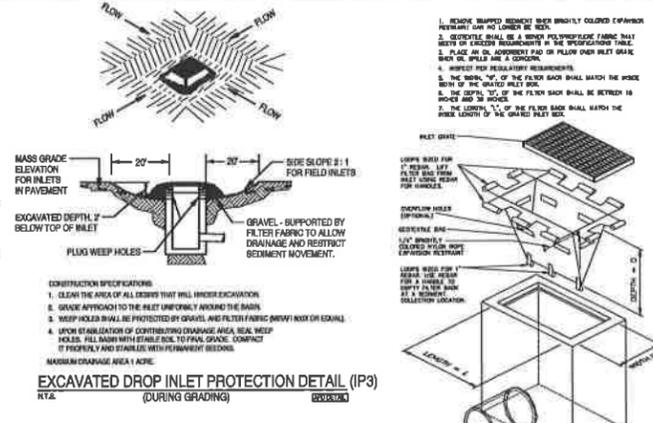


FIRE HYDRANT ASSEMBLY

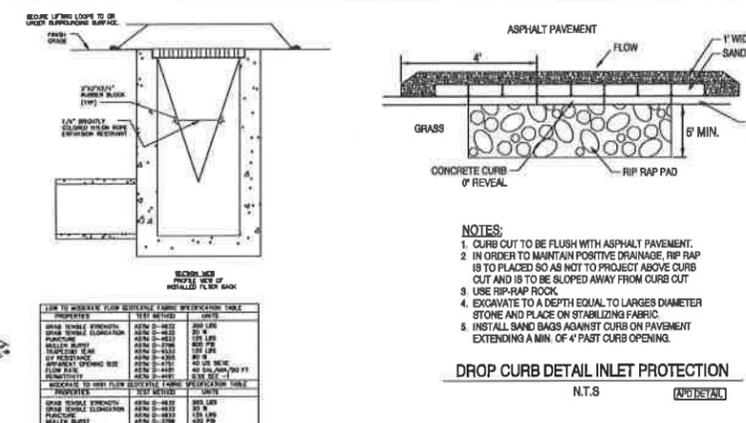
N.T.S.



INLET PROTECTION IN PAVED AREAS DETAIL (IP2)
 N.T.S. (APD DETAIL)



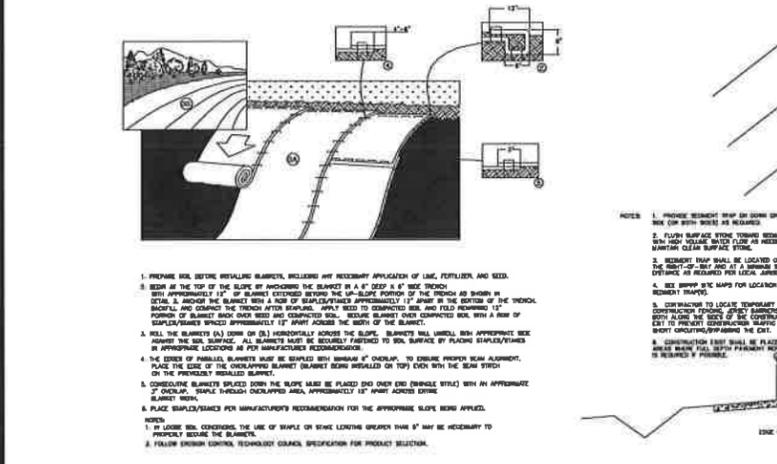
EXCAVATED DROP INLET PROTECTION DETAIL (IP3)
 N.T.S. (DURING GRADING)



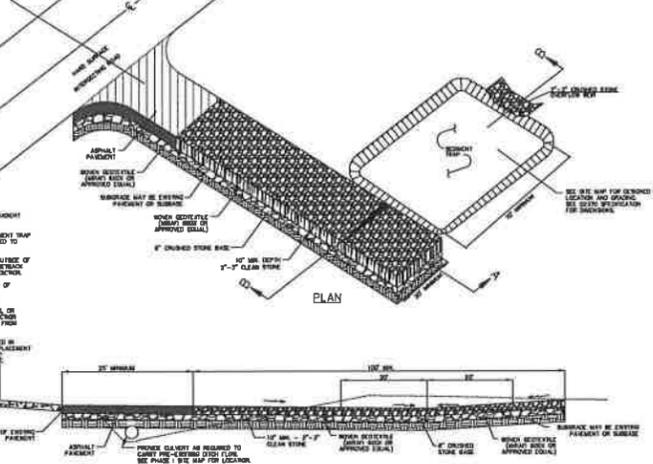
DROP CURB DETAIL INLET PROTECTION
 N.T.S. (APD DETAIL)



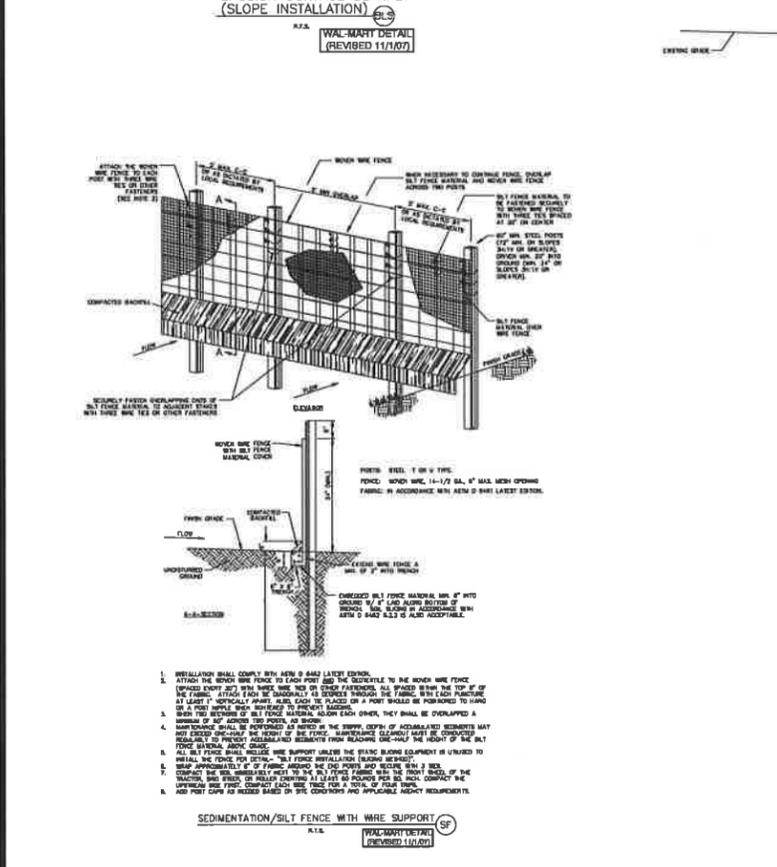
FILTER SACK (IP10)
 N.T.S. (APD DETAIL)



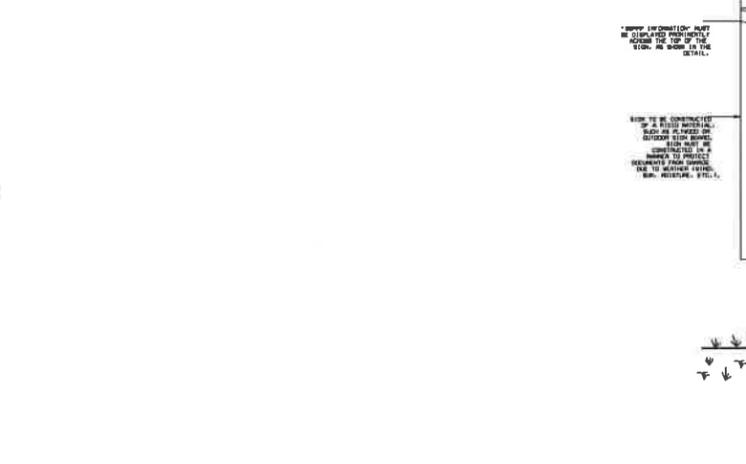
EROSION CONTROL BLANKET (SLOPE INSTALLATION)
 N.T.S. (WAL-MART DETAIL)



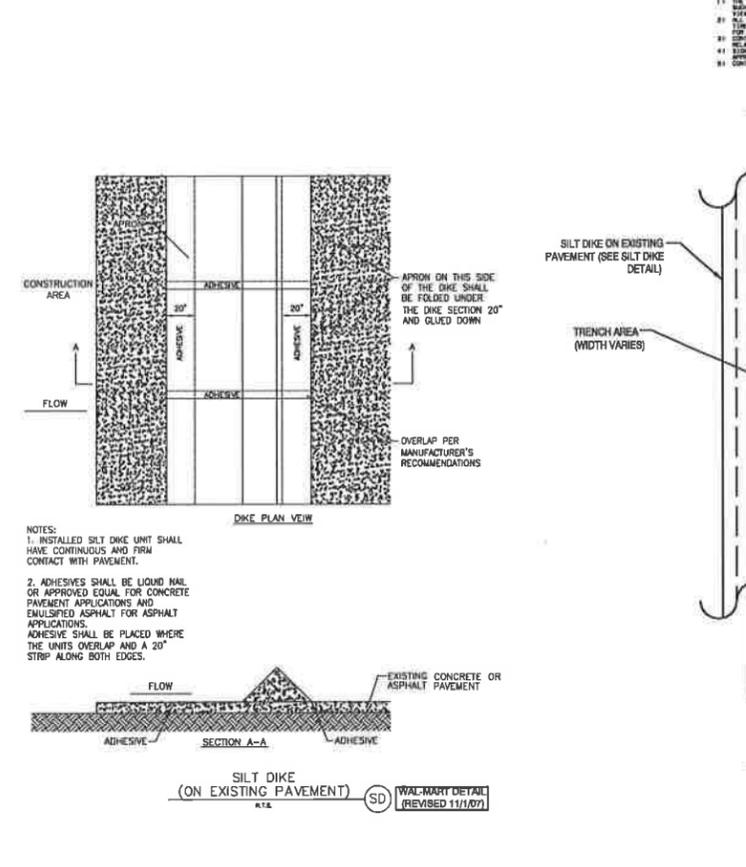
CONSTRUCTION EXIT
 N.T.S. (WAL-MART DETAIL)



SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT
 N.T.S. (WAL-MART DETAIL)



SWPPP INFORMATION SIGN
 N.T.S. (WAL-MART DETAIL)



TYPICAL EROSION CONTROL FOR TRENCHING IN PAVED AREAS
 N.T.S. (APD DETAIL)

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Project Name & Location:
Detail Sheet (3 of 3)

Drawing Name:	Project No.
Date: 12/21/07	07-0205
Type:	C 6
Drawn By: JED	Drawing No.
Scale: No Scale	